

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: November 17, 2005

ITEM NO. 8

CASE NUMBER/  
PROJECT NAME      **79-DR-2005**  
                             **The Upton**

LOCATION                      7228 E. Shoeman Lane

REQUEST                      Request for approval of a site plan and elevations for a 10-unit condominium residential development.

OWNER                      625 Holdings LLC                      ENGINEER                      N / A  
602-418-2734

ARCHITECT/  
DESIGNER                      Will Bruder Architects                      APPLICANT/  
602-324-6016                      COORDINATOR                      Greg Packham  
Will Bruder Architects  
602-324-6016

BACKGROUND                      **Zoning.**  
This site is zoned C-3 DO (Highway Commercial District, Downtown Overlay), which allows condominium development.

**Context.**  
The site is located on the north side of Shoeman Lane, between Scottsdale Road and Wells Fargo.

**Adjacent Uses:**

- North: Office building, zoned C-3 DO.
- South: Vacant land, then the Technology Center, zoned C-3 DO.
- East: Office building, zoned C-3 DO.
- West: Restaurant, zoned C-3 DO.

APPLICANT'S  
PROPOSAL                      **Applicant's Request.**  
The applicant is proposing to develop this site with a three-story, ten-unit condominium building.

**Development Information:**

- Existing Use:                      Unimproved
- Proposed Use:                      Condominiums
- Parcel Size:                      19,092 Gross Square Feet
- Building Size:                      20,525 Square Feet
- Building Height Allowed:      36 Feet
- Building Height Proposed:    36-feet
- Parking Required:                15 Spaces

- Parking Provide 20 Spaces
- Number of Units: 10 Units
- Density: 10.07 Units per Acre

## DISCUSSION

The site plan shows a U-shaped building with a courtyard in the center, and access to below ground parking from Shoeman Lane. A pedestrian access to the courtyard is also provided from Shoeman Lane. The property's pool location is proposed at the edge of the landscaping, in the front of the building. Parking will be provided in an underground garage.

The elevations show a geometric pattern of square and rectangular forms with recesses and voids created through placement of patios, elevation changes, and window placement.

The color and materials include: Stainless steel; copper with blue-blackened patina; stucco Dunn-Edwards Summer Yellow DEA 118 fine finish; plain steel to rust naturally; translucent fiberglass white color smooth finish; stucco Pratt & Lambert Yucca Green – 2211 rough texture finish; translucent fiberglass light rose color smooth finish; stucco Pratt & Lambert Designer White – 2337 fine finish.

This part of the Downtown does not have design guidelines like the Main Street area has. In evaluation of the proposal staff thus looks to the character of the neighborhood within which the site is located. This site is located in the Entertainment District, which has an eclectic architectural development pattern. Therefore, staff considers this concept acceptable.

## NEIGHBORHOOD INVOLVEMENT

Staff has received comments from two neighboring property owners. Their concerns are that the proposed architectural style is not consistent with this neighborhood and that the colors are inappropriate.

## STAFF RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

**STAFF CONTACT(S)**

Kira Wauwie, AICP  
Project Coordination Manager  
Phone: 480-312-7061  
E-mail: kwauwie@ScottsdaleAZ.gov

**APPROVED BY**

\_\_\_\_\_  
Kira Wauwie, AICP  
Report Author



\_\_\_\_\_  
Lusia Galav, AICP  
Current Planning Director  
Phone: 480-312-2506  
E-mail: lgalav@scottsdaleAZ.gov

**ATTACHMENTS**

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

**79-DR-2005**

**09/12/05**

The UPTON design concept:

The UPTON is a cluster of ten custom designed condominiums arranged on five levels around a three-story desert oasis courtyard above structured underground resident parking. More a village than a building, the Upton was inspired by the site's former neighbor a residence of the same name which was a unique winter retreat for a Midwestern industrialist and his family. Designed by the modern master, architect Paul Schweikher in 1949, this iconic courtyard structure was sadly demolished in the early 1970's. With the new Upton, its spirit and the modern design tradition of Scottsdale will move forward again.

Dynamic from the street, the Upton's sculptural south facing, staggered setback urban edge is composed of a carefully proportioned and scaled collage of building forms and materials. Grounded by three masses of weathered steel plate, the south facing Shuman Lane elevation skillfully uses textured glass, translucent fiberglass, ribbed brushed stainless steel cladding some scrimmed by metal mesh, blue blackened ribbed copper and rough plaster. Desert landscaping including large specimen Ironwood trees, Palo Brea, creosote, and a living ocotillo fence serve as a foil to the entry and front yard swimming pool sun garden.

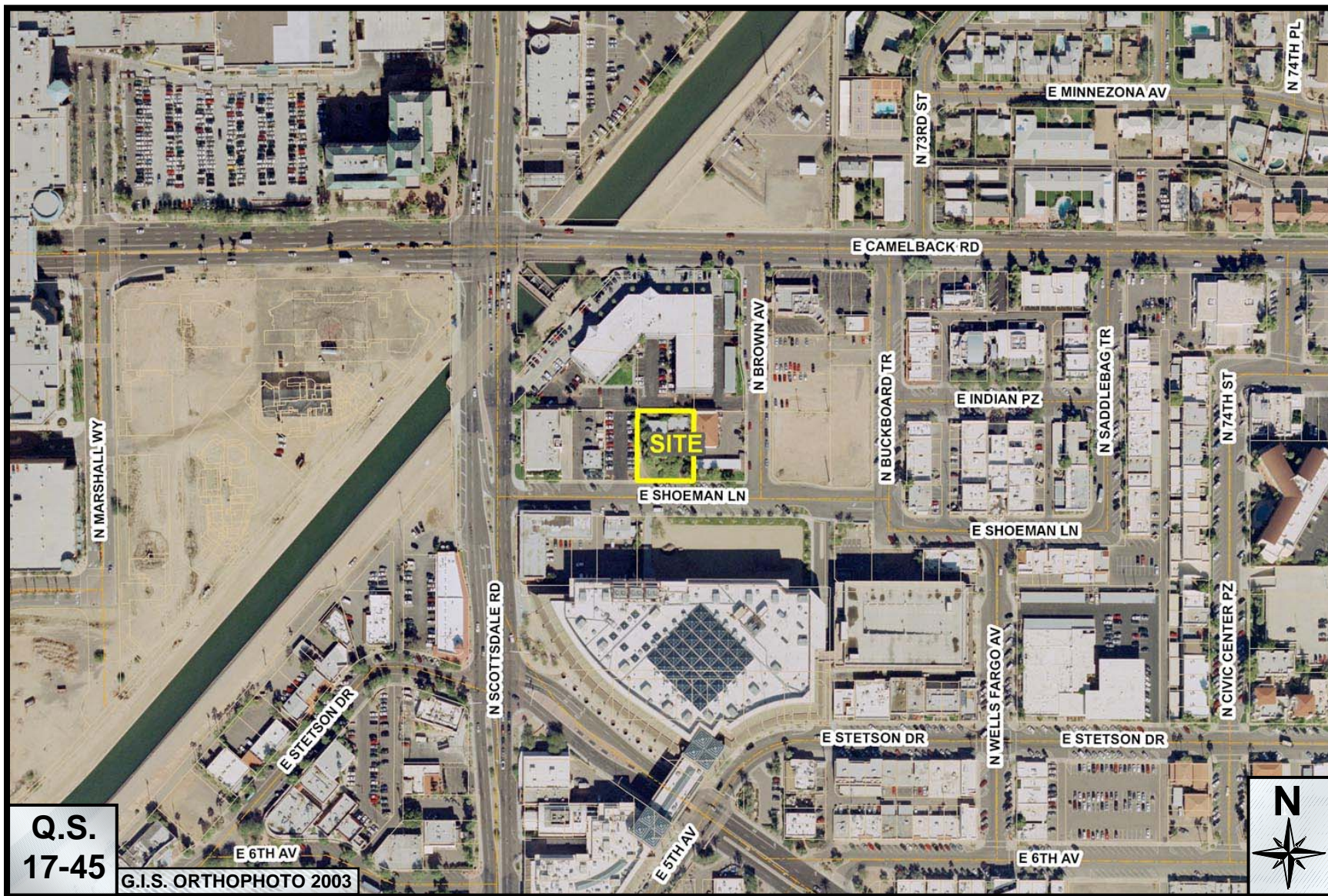
Seen through the fabric of neighboring buildings, the east, west, and north facades will be composed of gray/green textured plaster, a bright amber plaster accent wall, random width vertically proportioned solex green windows in thin aluminum frames, and recessed third level patio decks and 'Juliet' balconies with translucently iridescent pinkish fiberglass resin railings.

Low pitched shed roofs on the east and west wings of the plan slope inward to the courtyard and are visible from the south while the structure appears flat roofed from other perspectives. A parapet on the north roof screens all roof top mechanical units. Signage identifying the complex as the Upton is of raised stainless steel letters mounted on the weathered steel wall east of the covered entry walk.

From the lane one will enter a zone of complex shadows and refreshing landscape defined by the 'U' shaped plan of the architecture. While barely visible from the street, the courtyard is made up of textured grey/green plaster walls, a stainless steel metal mesh scrim and cable and resin railings at upper walkways. The courtyard is given character by stone benches, textured concrete paving, a fire/water feature, and oasis plantings consisting of a Palo Blanco tree, succulents, ground covers, and creeping vines. Lighting of the courtyard is provided by vertical perforated metal scrimmed door lights, and a floating indirect cobalt blue light bar suspended above the first level courtyard walkway.

Of contemporary southwestern character, this courtyard condominium complex is a celebration of sun and shadow, organic and timeless materials, the western 'false front' Main Street vernacular architecture of Scottsdale and the Spanish courtyard living style of the Sonoran desert in a sophisticated new mix.





**Q.S.  
17-45**

G.I.S. ORTHOPHOTO 2003



The Upton

**79-DR-2005**

ATTACHMENT #2





N SCOTTSDALE RD

N BROWN AV

SITE

E SHOEMAN LN

Q.S.  
17-45

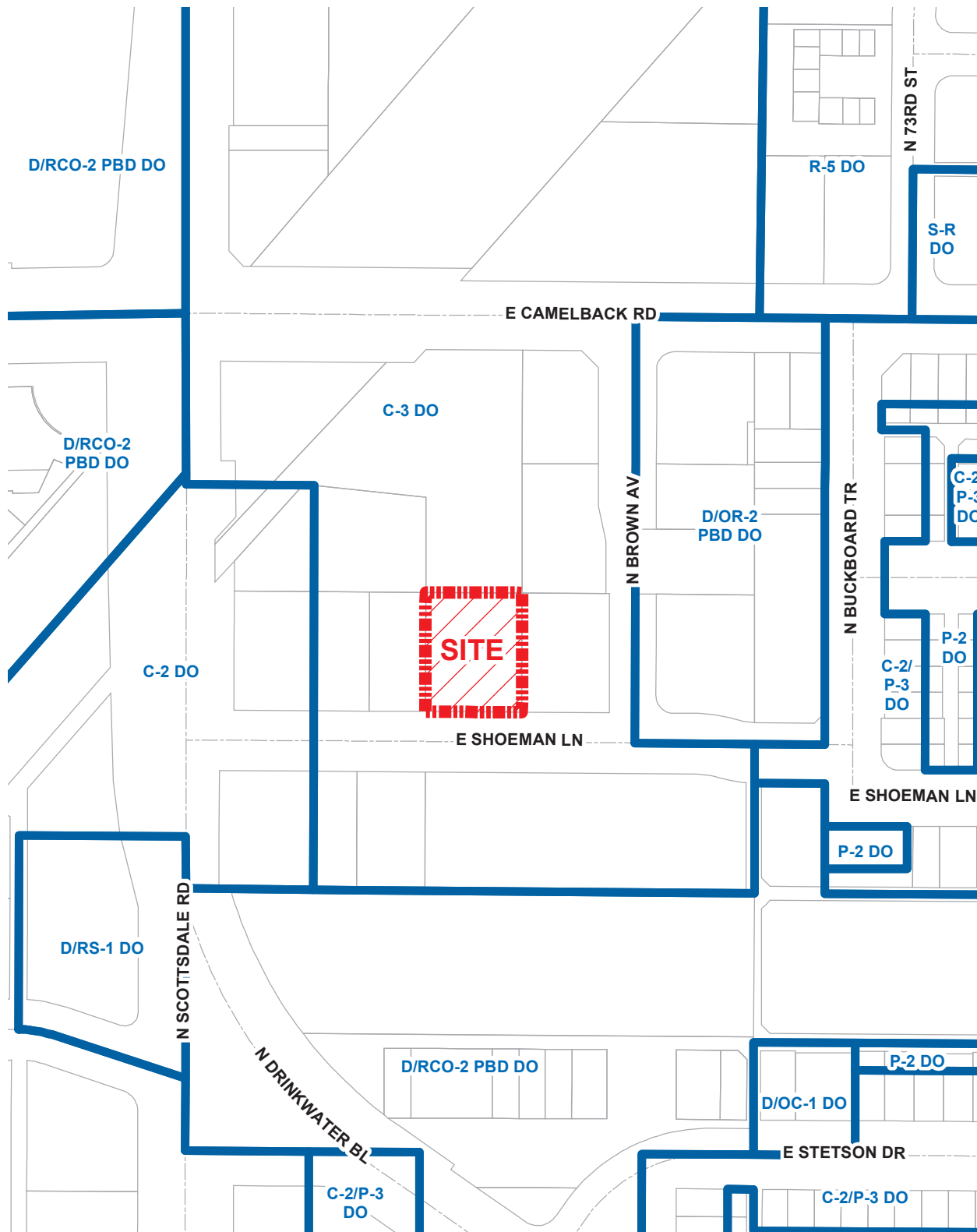
G.I.S. ORTHOPHOTO 2003



The Upton

79-DR-2005

ATTACHMENT #2A



79-DR-2005

ATTACHMENT #3



90°-8°

zoning  
C-3

existing  
building

zoning  
C-3

brown avenue

the **upton**  
site plan  
1" = 20'-0"

23 dwellings allowed per gross acre  
site is 0.438 gross acres, allowing 10.07 units  
10 units provided

parking required (1.5 spaces per unit) = 15 spaces  
parking provided = 20 spaces

no bike parking required, none provided

some existing street parking spaces are relocated  
no existing street parking spaces have been deleted

plan check# 4890-05

Case# 85-PA-2005

zoning: C-3/DD

parcel number: 173-41-003

gross site area: 19,092 sf

net site area: 16,870 sf

gross floor area: 22,350 sf



willbruder architects

111 west morrow-suite 444  
phoenix az 85003  
602 324 6000

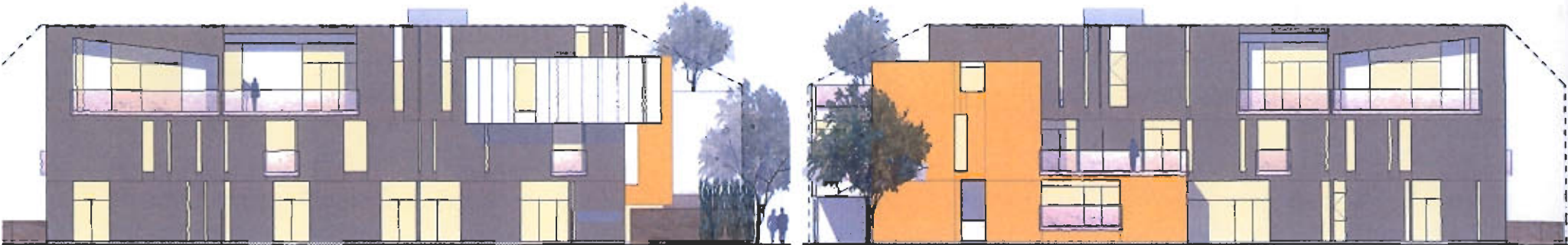
6 SEPTEMBER 2005

**ATTACHMENT #4**

79-DR-2005  
09/12/05





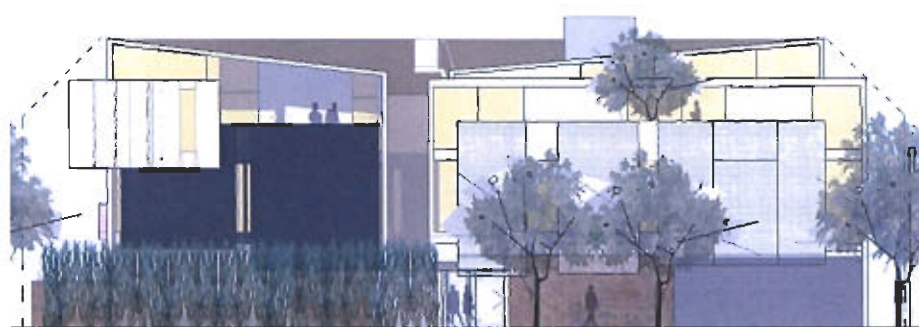


west elevation

east elevation



north elevation



south elevation

the **upton**  
*Like a modern day victorian*  
**elevations**

1/16"=1'-0"

plan check# 4890-05  
 case# 85-PA-2005

**bruder** architects  
 271 west montana suite 404  
 glenview, il 60025  
 847.424.4000

8 SEPTEMBER 2005

79-DR-2005  
 09/12/05



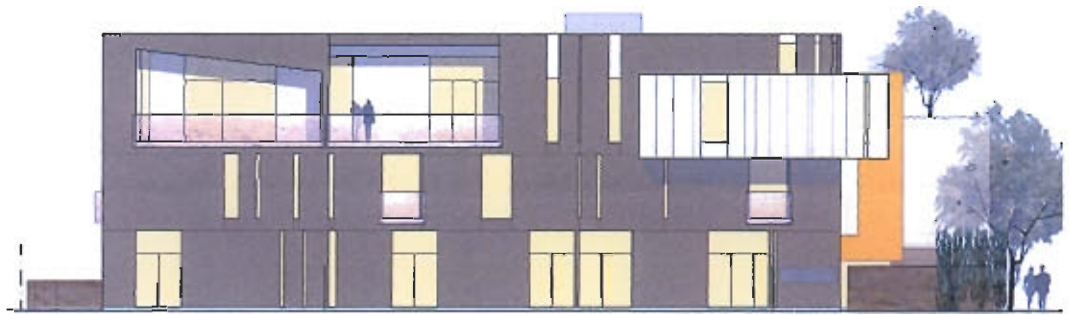
3 north elevation  
1/16" = 1'-0"



4 south elevation  
1/16" = 1'-0"

view from shoeman lane

79-DR-2005  
09/12/05



1 west elevation  
1/8" = 1'-0"



2 east elevation  
1/8" = 1'-0"

**79-DR-2005**  
09/12/05



The Upton  
7228 E. Shoeman Ln.  
Scottsdale, AZ

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- |   |   |
|---|---|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE &amp; MUST BE ON ALL PLANS.</p> <p><input type="checkbox"/> 2. FIRE LANES &amp; EMERGENCY ACCESS SHALL BE PROVIDED &amp; MARKED IN COMPLIANCE WITH CITY ORDINANCE &amp; IFC AT THE FOLLOWING LOCATIONS.</p> <p style="margin-left: 20px;"><u>NO on site access !!</u></p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT &amp; AMERICANS WITH DISABILITIES ACT &amp; INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input type="checkbox"/> 4. SUBMIT PLANS &amp; SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS &amp; EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input type="checkbox"/> C. KNOX OVERRIDE &amp; PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER &amp; FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK &amp; KEYED TO MATCH THE FIRE ALARM CONTROL PANEL &amp; SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.<br/> <small>(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</small></p> <p><input type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p>_____</p> <p><input type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 &amp; 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS &amp; HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED &amp; OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF <u>exist</u> AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT &amp; EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE &amp; THE IFC. SEE SHEETS _____</p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS &amp; AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP &amp; SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER &amp; STANDPIPE SYSTEM SHALL BE FLUSHED &amp; PRESSURE TESTED PER NFPA STANDARDS &amp; SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input checked="" type="checkbox"/> 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE &amp; 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.</p> |
|---|---|

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: .10/1500 & .15/1500 SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

# **Stipulations for Case: The Upton Case 79-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

## **PLANNING**

### **APPLICABLE DOCUMENTS AND PLANS:**

#### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Will Bruder Architects with a staff receipt date of 9/12/2005.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Will Bruder Architects with a staff receipt date of 9/12/2005.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Will Bruder Architects with a staff receipt date of 9/12/2005.

### **ARCHITECTURAL DESIGN:**

#### **DRB Stipulations**

2. The face of the service entrance section(s) or utility panels, if external, shall be screened from public view and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Dooley wall fencing shall not be allowed.
8. All site fence walls shall match the architectural color, materials and finish of the building(s).

#### **Ordinance**

- A. *The building height shall be reduced as necessary to comply with the height restriction of the zoning ordinance.*
- B. *The elevations shall be revised to clearly and accurately demonstrate that the inclined stepback planes established by the Zoning Ordinance are not encroached.*

**SITE DESIGN:****DRB Stipulations**

9. *The transformer shall be located to maximum screening from public view. The location and clearances shall meet the emergency access and safety clearance needs of the utility provider. The applicant shall provide written approval of the location and clearances by the utility provider.*

**Ordinance**

- C. *One van accessible space shall be provided by universal design criteria in the garage, having an eleven foot width and a five foot access aisle on the right.*
- D. *The written consent of all affected utility providers shall be obtained for all new encroachments of structures, such as fences and gates, into public utility easements.*
- E. *Approval for the proposed fountain shall be obtained from the C.O.S. Water Resources Department, Conservation Division.*

**LANDSCAPE DESIGN:****DRB Stipulations**

10. All plant materials shall be solely selected from the ADWR Low Water Use / Drought Tolerant Plan List.

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

11. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line, except sign, *step lighting, bollards, one fountain fixture*, and landscape lighting.
12. *Step light fixtures shall have downward directed louvers and shall have a maximum lamp wattage rating of 35 watts.*
13. *Bollards, if used, shall have a maximum height of forty-two inches, a maximum lamp rating of 70 watts, shall be manufactured with the light source in a fixed position, and shall be fitted with downward directed louvers.*
14. *The single permitted fountain fixture shall have a maximum wattage of 70 watts incandescent or equivalent, and shall be limited to locations interior to the courtyard.*
15. The individual luminaire lamp shall not exceed 200 watts.
16. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet
17. Incorporate into the project's design, the following:

**Parking Lot and Site Lighting:**

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 8.0 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.0 foot-candles. All exterior luminaires shall be included in this calculation.

**Building Mounted Lighting:**

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

**Landscape Lighting**



- e. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- f. Landscaping lighting shall only be utilized to accent plant material.
- g. All landscape lighting directed upward, shall be aimed away from property line.
- h. The landscape lighting lamp shall be a maximum *rating* for a 50 Watt incandescent or halogen incandescent source *or equivalent light output if fitted for another lamp type*.
- i. *Landscape lighting shall be limited to areas interior to the courtyard, as proposed.*

**BICYCLE PARKING:**

**DRB Stipulations**

18. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

**Ordinance**

*F. Bicycle parking shall be provided at a quantity as required by the Zoning Ordinance.*

**ADDITIONAL PLANNING ITEMS:**

**DRB Stipulations**

19. No exterior vending or display shall be allowed.
20. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 1. **Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.**

## ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **APPLICABLE DOCUMENTS AND PLANS:**

21. Site Plan entitled, The Upton Site Plan, submitted by Will Bruder Architecture. and dated 9/12//05 by City staff.
22. Preliminary Grading and Drainage Plans entitled, Grading and Drainage Plans for The Upton, submitted by Hess- Runtree, Inc. And dated 09/12/05 by City staff
23. Preliminary Drainage Report entitled, Grading and Drainage Plans for The Upton, submitted by Hess- Runtree, Inc. And dated 09/12/05 by City staff.

### **CIVIL IMPROVEMENT PLAN REQUIREMENTS:**

#### **DRAINAGE AND FLOOD CONTROL:**

##### **DRB Stipulations**

24. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
  - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
25. Basin Configuration:
  - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
  - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
26. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
  - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
  - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

##### **Ordinance**

- G. On 10/28/ 2003, the City's Stormwater Management Division approved a Stormwater Storage Waiver for this development. This approval is based on the following conditions:
  - 1- In order to do No Fee, Consultant must demonstrate " In the Drainage Report" by Engineering Analysis that no significant increase in the potential for flood damage will be created by this development.
- H. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- I. Underground Stormwater Storage:
  - (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
  - (2) Drywells are not permitted.

**J. Street Crossings:**

- (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

**ROADWAY, INTERSECTION, AND ACCESS DESIGN:****Streets and other related improvements:**

<b>STREET NAME</b>	<b>STREET TYPE</b>	<b>R.O.W. DEDICATION</b>	<b>ROADWAY IMPROVEMENT</b>	<b>CURB TYPE</b>	<b>BIKE PATH, SIDEWALK, TRAILS</b>
East Shoeman Lane	Minor Collector	35' 20' ex./ additional 15' required	Ex.	Ex.	Ex.

**DRB Stipulations**

27. If a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance to Figure 8.1-1 of the City's Design Standards and Policies Manual.
28. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
29. Do not need taper for CH driveway for site entrance. Entry drive can be 20 – 24 feet in width.
30. Additional Stipulations as project demands.
- 1- Identify pedestrian connection from units to Shoeman.
  - 2- Need updated site plan that shows elimination of retail.
  - 3- Maintain sight distance triangle in the Planter Islands along Street.
  - 4- Provide adequate Turn around area for Vehicles in the Underground Parking Area.

**Ordinance**

- K. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

**TRAFFIC SIGNALS:****DRB Stipulations**

31. Poles and equipment necessary to upgrade the signal to current standards (including luminaires).
- L. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

**INTERNAL CIRCULATION:**

32. Provide Identify pedestrian connection from units to Shoeman Lane.

**DRB Stipulations**

- 33. The developer shall provide a minimum parking-aisle width of 24 feet.
- 34. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
- 35. The developer shall design the dead-end parking aisle in general conformance with the included detail.

**Ordinance**

- M. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

**DRB Stipulations**

- 36. Sight distance easements shall be dedicated over sight distance triangles.
  - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
  - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
- 37. Vehicular Non-Access Easement:
  - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on East Shoeman Lane Road except at the approved driveway location.
- 38. Indemnity Agreements:
  - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

**Ordinance**

- N. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

**REFUSE:****DRB Stipulations**

- 39. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures and #2147-1 for double enclosures.
- 40. Need to describe refuse collection methods. Contact Mark Powell for discussion. Method of Refuse Collection shall be approved by Final Plans.
- 41. Enclosures must:
  - a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
  - b. Be positioned to facilitate collection without "backtracking."
  - c. Be easily accessible by a simple route.
  - d. Not require backing more than 35 feet.
  - e. Not be located on dead-end parking aisles.



- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

**Ordinance**

O. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.

P. Underground vault-type containers are not allowed.

Q. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

R. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

**WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

**DRB Stipulations**

- 42. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the developer a site-specific addendum to the master report, subject to review and approval by City staff.
- 43. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
  - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
  - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

**WATER:****DRB Stipulations**

44. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

**Ordinance**

- S. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

**WASTEWATER:****DRB Stipulations**

- 45. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

- 46. On-site sanitary sewer shall be privately owned and maintained.
- 47. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

**Ordinance**

- T. Privately owned sanitary sewer shall not run parallel within the waterline easement.

**BRIDGES:****DRB Stipulations**

- 48. Bridges:
  - a. All drainage crossings, including any configuration of box culverts or pipes that span 20 feet or more (as measured along the roadway centerline) shall be subject to review and approval by City staff.
  - b. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two (2) separate copies of the improvement plans, subject to City staff approval, for structural review.

**CONSTRUCTION REQUIREMENTS****DRB Stipulations****As-Built Plans.**

- 49. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
  - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
  - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

**Ordinance**

- U. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

**VERIFICATION OF COMPLIANCE****DRB Stipulations**

- 50. Condition for issuance of grading and drainage permit: Before the issuance of a Grading & Drainage Permit:
  - a. Final Grading and Drainage plans shall be reviewed and approved by Final Plan Reviewing Staff.